



**DEVELOPMENT PERMIT NO. DP001074**

**BETHEL LANDS CORPORATION LTD**  
Name of Owner(s) of Land (Permittee)

**380 COTTLE PLACE**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 8, SECTION 15A, WELLINGTON DISTRICT, VIP83210**  
**PID No. 027-092-313**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Site Plans**  
**Schedule C Cross Sections**  
**Schedule D Ridgeline View**  
**Schedule E Building Elevations**  
**Schedule F Building Material Finishes**  
**Schedule G Landscape Plan and Details**

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

a. *Section 7.6.1 – Size of Buildings* – to increase the maximum allowable building height as follows:

Single Units:

| Unit Number | Maximum Allowable Height | Proposed Height | Proposed Height Variance |
|-------------|--------------------------|-----------------|--------------------------|
| 1           | 7m                       | 7.7m            | 0.7m                     |
| 2           | 7m                       | 7.8m            | 0.8m                     |
| 3           | 7m                       | 7.5m            | 0.5m                     |
| 4, 6        | 7m                       | 7.6m            | 0.6m                     |
| 5           | 7m                       | 7.1m            | 0.1m                     |
| 7           | 7m                       | 8.4m            | 1.4m                     |
| 8           | 7m                       | 7.9m            | 0.9m                     |

Townhouse Units:

| Unit Number      | Maximum Allowable Height | Proposed Height | Proposed Height Variance |
|------------------|--------------------------|-----------------|--------------------------|
| 1, 2, 6, 7, 8, 9 | 7m                       | 8.7m            | 1.7m                     |
| 3,4,5            | 7m                       | 9.5m            | 2.5m                     |
| 10,11            | 7m                       | 8.4m            | 1.4m                     |
| 12,13,14         | 7m                       | 8.8m            | 1.8m                     |
| 15,16            | 7m                       | 7.3m            | 0.3m                     |

b. *Section 7.6.6 – Size of Buildings* – to increase the maximum perimeter wall height as follows:

Single Unit:

| Unit Number | Maximum Allowable Height | Proposed Height | Proposed Height Variance |
|-------------|--------------------------|-----------------|--------------------------|
| 6           | 7.32m                    | 8.3m            | 0.98m                    |

Townhouse Units:

| Unit Number | Maximum Allowable Height | Proposed Height | Proposed Height Variance |
|-------------|--------------------------|-----------------|--------------------------|
| 1           | 7.32m                    | 8.96m           | 1.64m                    |
| 2           | 7.32m                    | 8.29m           | 0.97m                    |
| 3           | 7.32m                    | 8.96m           | 1.64m                    |
| 9           | 7.32m                    | 7.89m           | 0.57m                    |
| 14          | 7.32m                    | 7.46m           | 0.14m                    |

### CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site Plans prepared by Hillel Architecture dated 2018-FEB-01 as shown on Schedule B.
2. The development is in accordance with the Cross Sections and Ridgeline View prepared by Hillel Architecture received 2017-OCT-02 as shown on Schedule D.

3. The development is in accordance with the Building Elevations prepared by Hillel Architecture received 2018-FEB-01 as shown on Schedule E.
4. The development is generally in accordance with the Building Material Finishes prepared by Hillel Architecture dated 2017-SEP-21 as shown on Schedule F.
5. The development is in general compliance with the Landscape Plan and Details prepared by MacDonald Gray dated 2017-DEC-07 as shown on Schedule G.
6. The subject property is developed and maintained in accordance with the recommendations contained in the Bioinventory Assessment prepared by Toth and Associates Environmental Services dated July 2017; and, the Preservation Areas Plan received from Modev Construction Ltd. on 2018-FEB-02.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 19TH DAY OF FEBRUARY, 2018.

  
\_\_\_\_\_  
Corporate Officer

  
\_\_\_\_\_  
Date

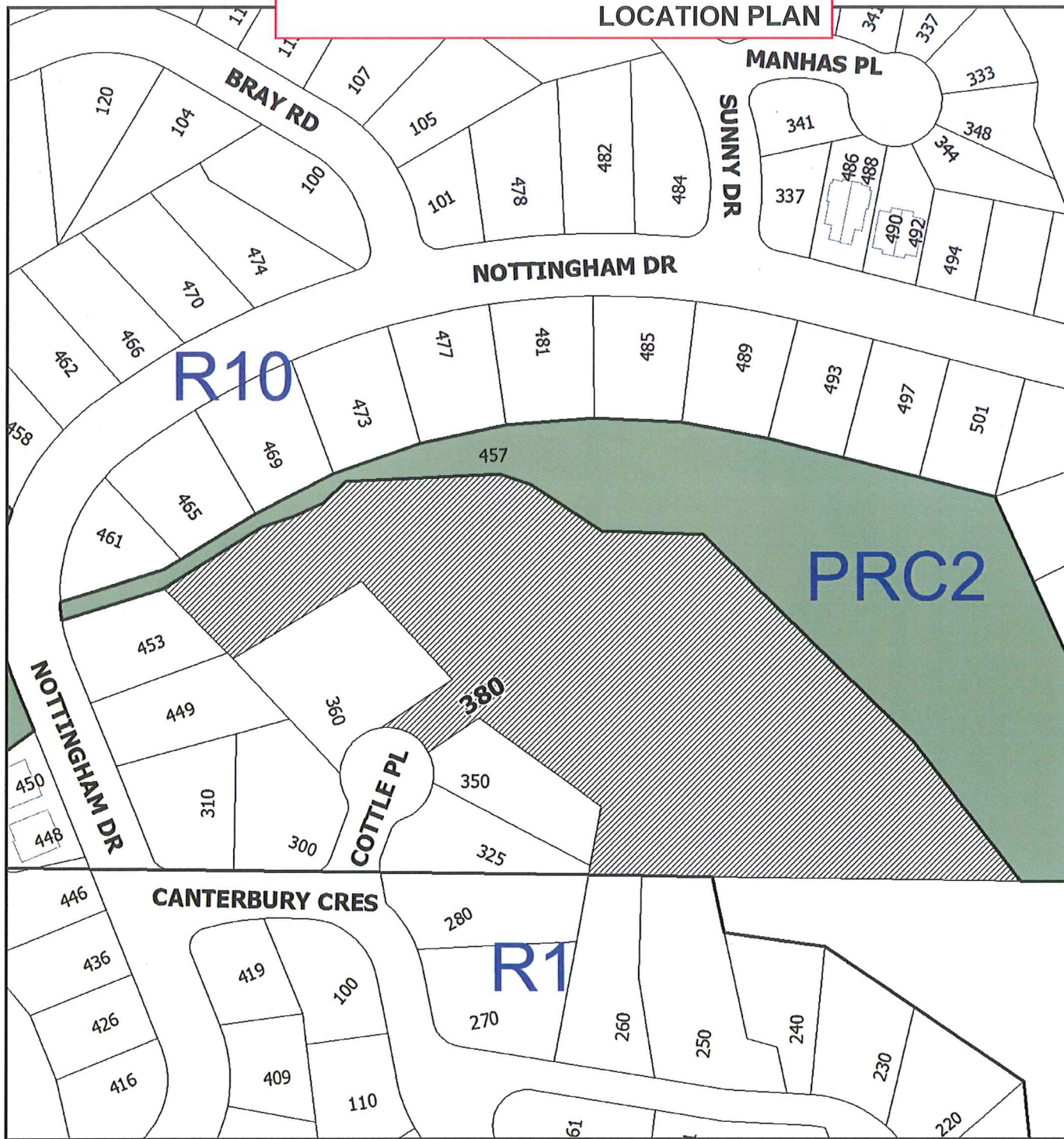
GN/In

Prospero attachment: DP001074

Development Permit DP001074  
380 Cottle Place

Schedule A

### LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001074

### LOCATION PLAN

Civic: 380 Cottle Place  
Lot 8, Section 15A, Wellington District,  
Plan VIP83210



**Subject  
Property**

Development Permit DP001074  
380 Cottle Place

Schedule B  
SITE PLANS





1 Partial Site and Grading Plan - North  
Metric scale: 1 : 200  
A1.2

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DP 1074  
2018-FEB-01  
Current Planning & Subdivision

**380 COTTLE PLACE**  
Development Permit Application  
The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

**mōdev**  
ARCHITECTS

**Hillel**  
REPRESENTATIVE

**380 Cottle Place**  
Advanced Development Permit Submission  
380 Cottle Place, Nanaimo, British Columbia

Site and Grading Plan 1

DATE: 2018-01-26  
SCALE: 1:200  
SHEET NO: A1.2

Development Permit Application  
September 21, 2017  
Project Revision  
Response to City of  
Nanaimo Review  
February 1, 2018

380 Cottle Place  
Advanced Development Permit Submission  
380 Cottle Place, Nanaimo, British Columbia

Site and Grading Plan 1

DATE: 2018-01-26  
SCALE: 1:200  
SHEET NO: A1.2



1 Partial Site and Grading Plan - South  
sheet scale: 1:200  
A1.3

Steve Taitford  
702 FIVE 1014 - steve@modev.ca  
**modev**  
INCORPORATED

# 380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

Development Permit Application  
September 21, 2017  
Project Revision  
Response to City of  
Nanaimo Review  
February 1 2018

Project  
**380 Cottle Place**  
Advanced Development Permit Submitter  
380 Cottle Place, Nanaimo, British Columbia

Drawing No.  
**Site and Grading Plan 2**

Drawing To  
**A1.3**

Development Permit Application  
September 21, 2017  
Project Revision  
Response to City of  
Nanaimo Review  
February 1 2018

Project  
**380 Cottle Place**  
Advanced Development Permit Submitter  
380 Cottle Place, Nanaimo, British Columbia

Drawing No.  
**Site and Grading Plan 2**

Drawing To  
**A1.3**

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DP1074

2018-FEB-01

Current Planning & Submission

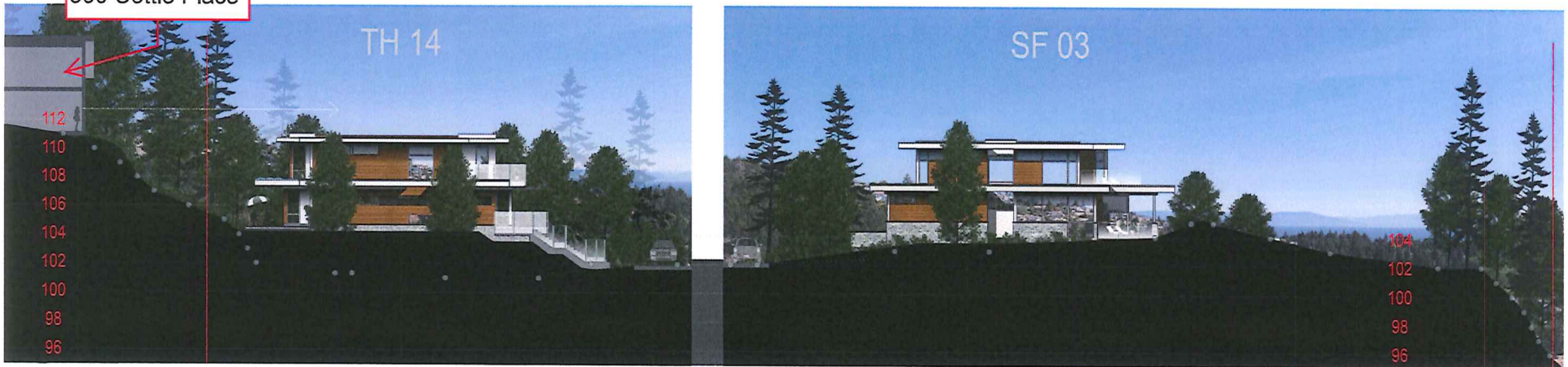
CROSS SECTIONS

360 Cottle Place



1 Project Section / Location 1: North Road  
not to scale  
A1.4

360 Cottle Place



2 Project Section / Location 2: South Road  
not to scale  
A1.4

**380 COTTLE PLACE**  
Development Permit Application  
The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

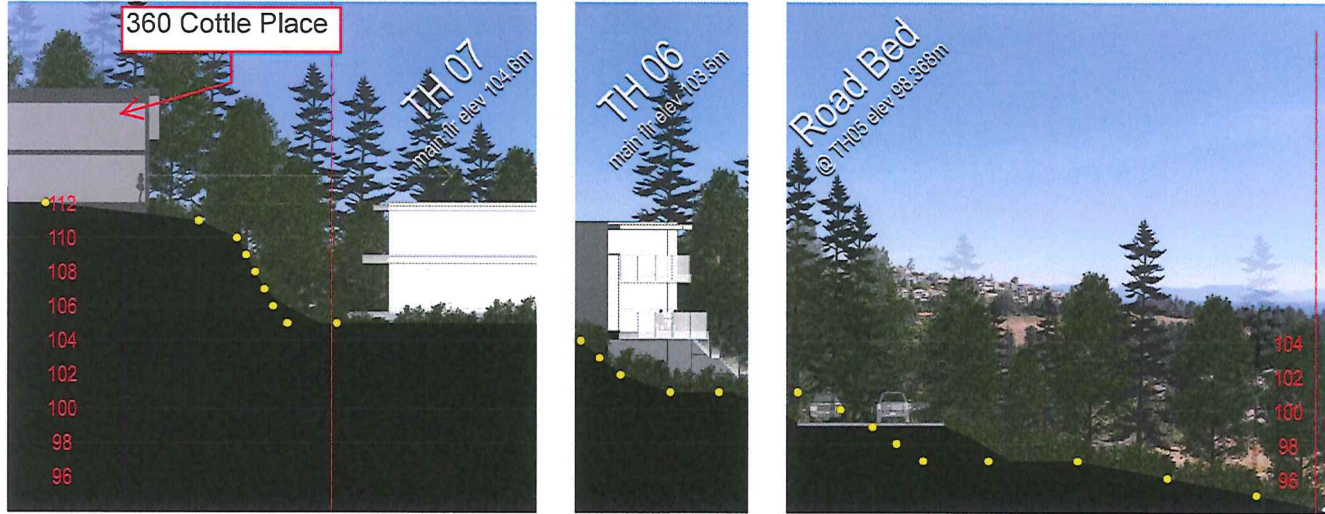
Stevie Hartfield  
250-779-1114, stevie@moddev.com  
**moddev**  
moddev.ca

Hillel  
ARCHITECTS  
1000-10th Street, Nanaimo, BC V9S 1A1  
Tel: 250-752-1111, Fax: 250-752-1112  
www.hillelarchitects.com

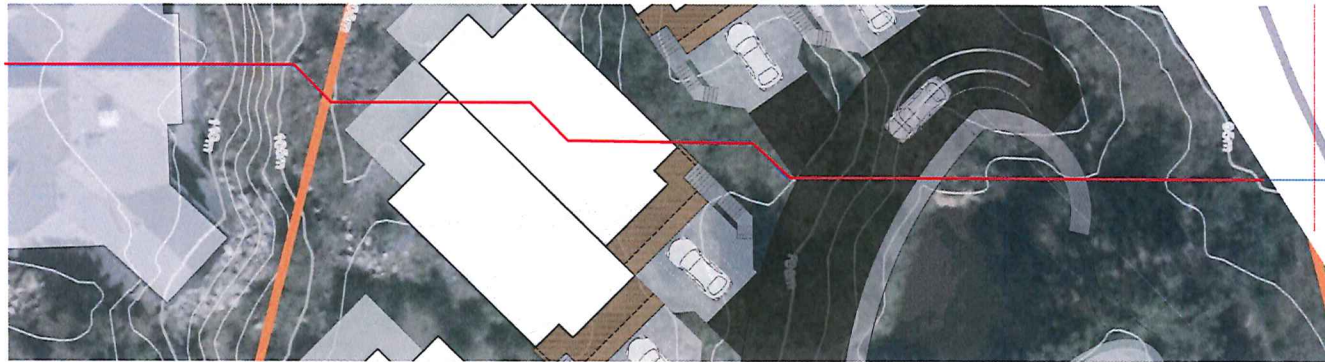
|  |  |
|--|--|
| Development Permit Application<br>September 21, 2017 |  |
| Project  | 380 Cottle Place<br>Development Permit Submission<br>380 Cottle Place, Nanaimo, British Columbia |
| Planning Use   | Project Sections   |
| Sheet No.  | A1.4   |

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1 Project Section / TH07 & TH 06  
 A1.5 1/8" = 1'-0"



2 Project Section / Approximate Cut Section at TH07 & TH06  
 A1.5 1/8" = 1'-0"

Steve Hordahl  
 250.729.1916 [shord@moddev.ca](mailto:shord@moddev.ca)  
**moddev**  
 CONSULTANTS

# 380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

Development Permit Application  
 September 21, 2017  
 Explanatory Section  
 February 7th, 2018

**380 Cottle Place**  
 380 Cottle Place, Nanaimo, British Columbia

**Project Sections**

Sheet No. **A1.5**

Development Permit DP001074  
380 Cottle Place

Schedule D

RIDGELINE VIEW



1 Hillside Aerial View  
not to scale

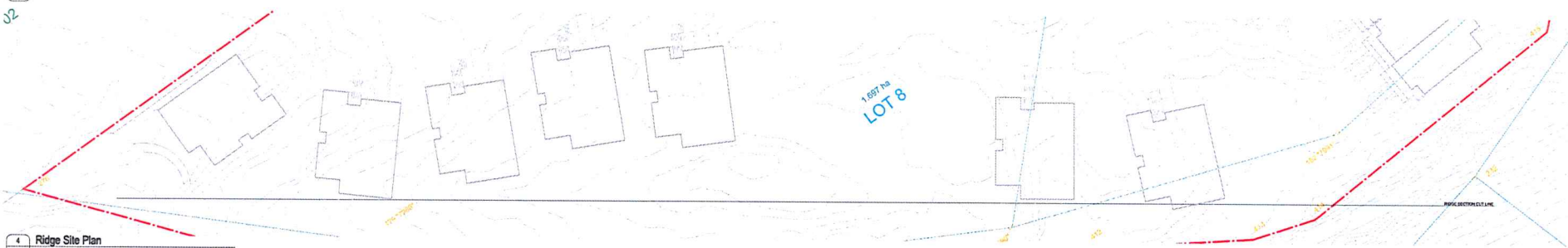


2 Hillside Aerial View  
not to scale



3 Orthographic Project Elevation  
A1.5

View of Single Detached Units stepped back from the Ridgeline.



4 Ridge Site Plan  
not to scale

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|  |  |
|--|--|
| Development Permit Application<br>September 21, 2017 |  |
| Project  | 380 Cottle Place<br>Development Permit Submission<br>380 Cottle Place, Nanaimo, British Columbia |
| Planning By  | Hillel Architects<br>Hillside Aerial Views<br>Project Elevation / Ridge Site Plan                |
| Scale  | A1.5   |

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**BUILDING ELEVATIONS**



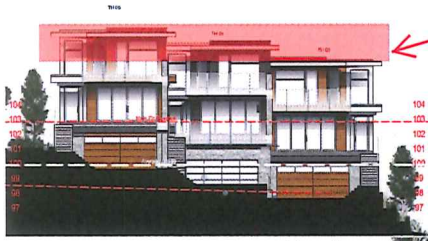
1 TH 01&02: Front, Side and Rear Elevation: Front  
metric scale 1:150



Rear



Proposed Height  
Variances within Shaded  
(red) Area



Front



Rear



2 TH 03,04 & 05: Front, Side and Rear Elevation  
metric scale 1:150



Front



Rear



3 TH 06 & 07: Front, Side and Rear Elevations  
metric scale 1:150

# 380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

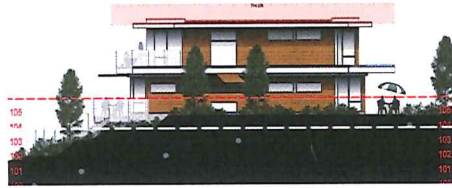


|   |
|---|
| Development Permit Application<br>September 21, 2017<br>Project Revision<br>Response to City of<br>Nanaimo Review<br>February 1st, 2018 |
| 380 Cottle Place<br>380 Cottle Place, Nanaimo, British Columbia   |
| Townhouse Bldg Elevations<br>chr Site Profiles  |
| Sheet No. A3.2  |

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2018-FEB-01  
Council Planning & Sustainability



1 TH 08 & 09: Front, Side and Rear Ele  
A3.3 metric scale 1:150



Rear



Rear



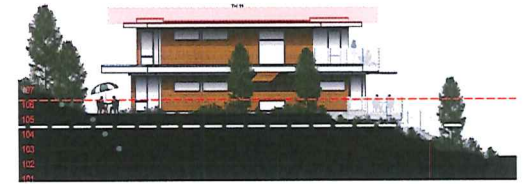
2 TH 10 & 11: Front, Side and Rear Elev  
A3.3 metric scale 1:150



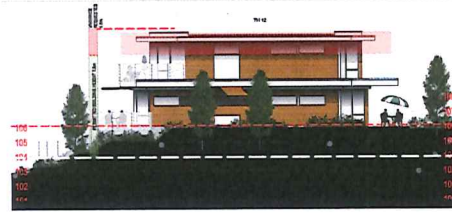
Rear



Rear



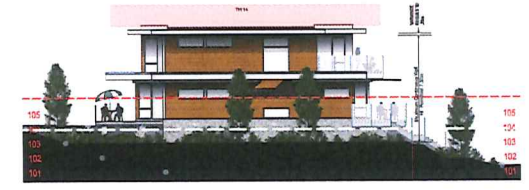
3 TH 12, 13 & 14: Front, Side and Rear Elevations  
A3.3 metric scale 1:150



Rear



Rear



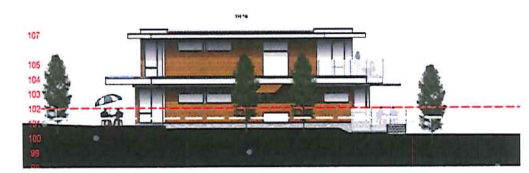
4 TH 15 & 16: Front, Side and Rear Elevations  
A3.3 metric scale 1:150



Rear



Rear





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February 1st, 2018

PROJECT  
**380 Cottle Place**  
380 Cottle Place, Nanaimo, British Columbia

APPLICANT  
**Townhouse Bldg Elevations  
c/w Site Profiles**

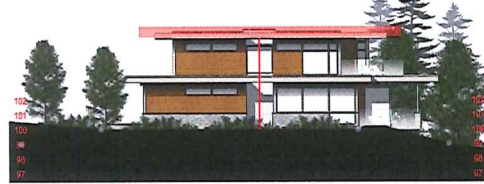
DESIGNED BY  
A3.3

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2018-FEB-01  
City Planning & Collaboration

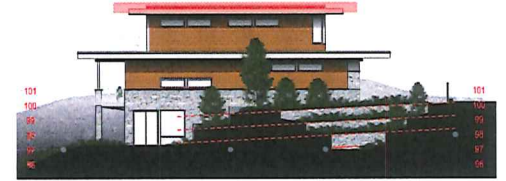
# SINGLE FAMILY RESIDENTIAL UNITS



1 Single Family Home 01 Elevations Front  
Plan: scale: 1:100



Rear



2 Single Family Home 02 Elevations Front  
Plan: scale: 1:100



Rear



3 Single Family Home 03 Elevations Front  
Plan: scale: 1:100



Rear



4 Single Family Home 04 Elevations Front  
Plan: scale: 1:100



Rear



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September 21, 2017  
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February 1, 2018

PROJECT: 380 Cottle Place  
380 Cottle Place, Nanaimo, British Columbia

PREPARED BY: SF Building Elevations  
c/w Site Profiles

SCALE: A3.5

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2018-FEB-01  
Current Planning & Subdivision

# SINGLE FAMILY RESIDENTIAL UNITS



1 Single Family Home 05 Elevations Front  
metric scale 1:100  
A3.8



Rear



Rear



2 Single Family Home 06 Elevations Front  
metric scale 1:100  
A3.8



3 Single Family Home 07 Elevations Front  
metric scale 1:100  
A3.8



Rear



4 Single Family Home 08 Elevations Front  
metric scale 1:100  
A3.8



Rear



# 380 COTTLE PLACE

Development Permit Application

The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia



Development Permit Application

September 21, 2017

Project Revision

Response to City

of Nanaimo review

February 1, 2018

PROJECT NO.

380 Cottle Place

380 Cottle Place, Nanaimo, British Columbia

PROJECT NO.

SF Building Elevations

c/w Site Profiles

DATE: 02/01/2018

SCALE: 1:100

PROJECT NO.

A3.8

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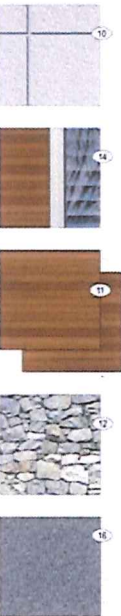
DP1074

2018-FEB-01

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**BUILDING MATERIAL FINISHES**

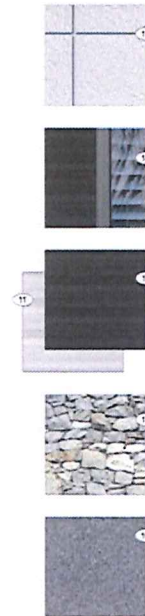
Colour Scheme A



Exterior Finishes Legend

- List of Finishes (specify at all elevations)
- Roofing**
- (10) 1800 panel steel for roofing membrane to all horizontal roof surfaces
  - (11) Pre-finished steel roofing. Colour matched to manufacturer's products where available. Colour coated with appropriate wood preservative where not.
  - (12) Galvalume grey
  - (13) Galvalume
  - (14) Black
- SI: Sikaers Color finished facade board**
- (15) Pre-finished steel facade finish board
  - (16) Galvalume grey
  - (17) SI white
  - (18) SI black
- SI: Sikaers Color finished cedar with**
- (19) SI white
  - (20) SI black
- Exterior Finishes & Components**
- (21) Painted, smooth finish (w/ perforated metallic grey metal mesh) from 100 surface white
  - (22) Sikaers Color finished T&T Concrete Color (siding installed above edge on horizontal line, left side, vertical surface)
  - (23) Natural stone veneer: (Sikaers) Nature Stone, Chase Cal Pebble Gray
  - (24) Aluminum-Clad Slatted Doors
  - (25) Fiberglass Windows
  - (26) Sliding system:
    - (a) Gold finished: powder, coated, frameless one clear tempered glass panels
    - (b) Gold finished: clear powder aluminum frame and panel mounting hardware (one clear tempered glass panel)
  - (27) Dark grey mass finish (cast finish to finished concrete foundations)
  - (28) Aluminum Panel
- Exterior Features**
- (29) Exterior exposed concrete (stone/stone) joint finished
  - (30) Exterior light fixture
  - (31) Aluminum framed awning
  - (32) Wood Deck
  - (33) Concrete Deck
  - (34) Paint
  - (35) Wood paneling
- Pre-finished steel cladding left to show in match the exterior support structure with the cladding profile.
- pre-finished white  
pre-finished metallic grey / galvalume  
pre-finished grey  
pre-finished black

Colour Scheme B

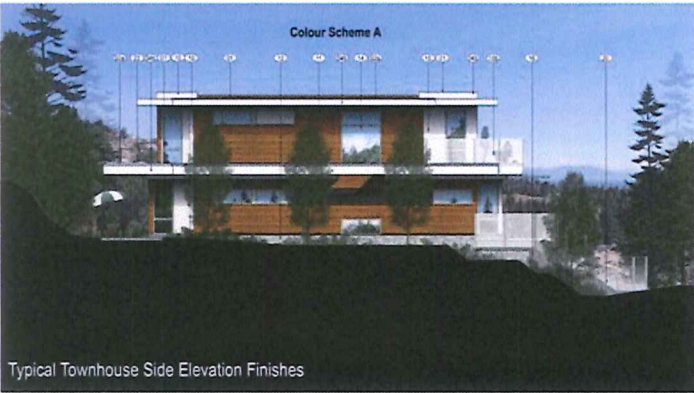


**Typical Townhouse Elevation Treatment and finishes**

Townhouses shown in typical two unit and three unit forms demonstrating elevation treatment and finishes.

Townhouses are staggered both vertically and horizontally.

Roof projections are articulated within a unit therefore roof overhangs are both articulated and aid to minimize the roof profile and the appearance of height and massing.



3 Typical Townhouse Side Elevation  
A3.1 metric scale 1:100



4 Typical Townhouses Finishes  
A3.1 metric scale 1:100

**380 COTTLE PLACE**

Development Permit Application

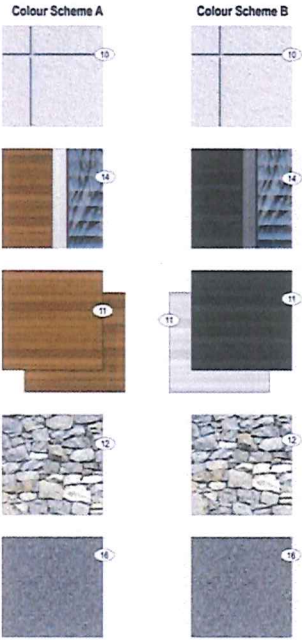
The ridgeline of Cottle Place, 380 Cottle Place, Nanaimo, British Columbia

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September 21, 2017

380 Cottle Place, Nanaimo, British Columbia

Project Colour Palette, Materials / Townhouse Design Elevations  
A3.1

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2 Single Family Home Finishes  
A3.4 metric scale: 1:150



1 Single Family Home Finishes  
A3.4 metric scale: 1:150



4 Single Family Home Finishes  
A3.4 metric scale: 1:150



3 Single Family Home Finishes  
A3.4 metric scale: 1:150



Alternate colour scheme B sample Elevation



Alternate colour scheme B sample Elevation

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380 Cottle Place  
380 Cottle Place, Nanaimo, British Columbia

Single Family Design Elevations  
A3.4

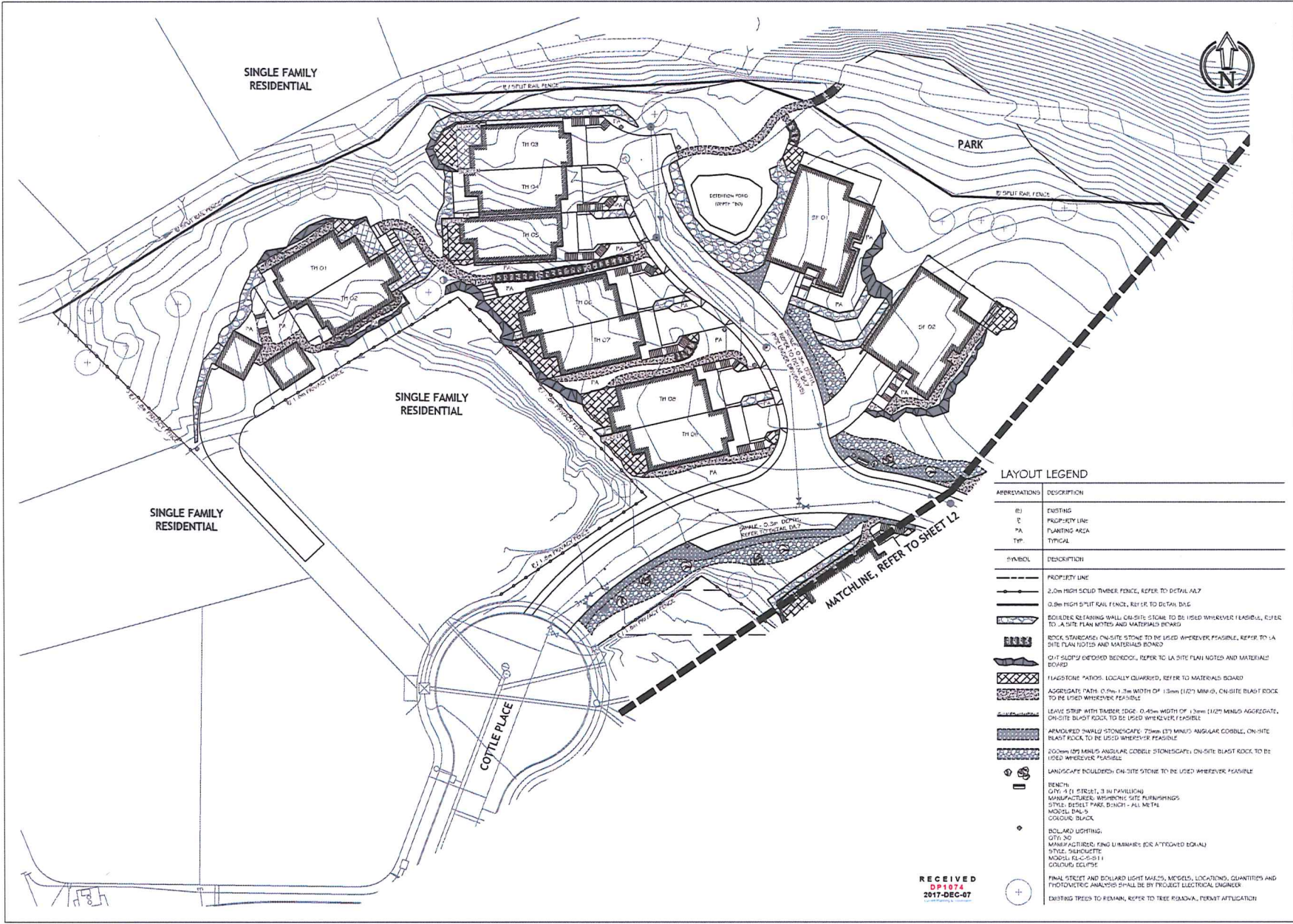
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**2017-OCT-02**  
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LANDSCAPE PLAN AND DETAILS



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LAYOUT LEGEND

| ABBREVIATIONS           | DESCRIPTION  |
|-------------------------|--|
| EX                      | EXISTING   |
| P                       | PROPERTY LINE  |
| PA                      | PAVING AREA  |
| TP                      | TYPICAL  |
| SYMBOL                  | DESCRIPTION  |
| (Solid line)            | PROPERTY LINE  |
| (Dashed line)           | 2.0m HIGH SOLID TIMBER FENCE, REFER TO DETAIL A4.7   |
| (Dotted line)           | 0.9m HIGH SPLIT RAIL FENCE, REFER TO DETAIL B4.6   |
| (Hatched pattern)       | BOULDER RETAINING WALL ON-SITE STONE TO BE USED WHEREVER FEASIBLE, REFER TO LA SITE PLAN NOTES AND MATERIALS BOARD   |
| (Stippled pattern)      | ROCK STONESCAPES ON-SITE STONE TO BE USED WHEREVER FEASIBLE, REFER TO LA SITE PLAN NOTES AND MATERIALS BOARD   |
| (Cross-hatched pattern) | 0.75m SLOPED EXPOSED BEDROCK, REFER TO LA SITE PLAN NOTES AND MATERIALS BOARD  |
| (Diagonal lines)        | FLAGSTONE PATIOS, LOCALLY QUARRIED, REFER TO MATERIALS BOARD   |
| (Dotted pattern)        | AGGREGATE PATH 0.9m x 1.3m WIDTH OF 1.3mm (1/2") MIN. Ø, ON-SITE BLAST ROCK TO BE USED WHEREVER FEASIBLE   |
| (Horizontal lines)      | LEAVE STRIP WITH TIMBER EDGE, 0.45m WIDTH OF 1.3mm (1/2") MIN. Ø AGGREGATE, CONCRETE BLAST ROCK TO BE USED WHEREVER FEASIBLE   |
| (Vertical lines)        | ANGULARISED "WALL" STONESCAPES 75mm (3") MIN. Ø ANGULAR COBBLE, ON-SITE BLAST ROCK TO BE USED WHEREVER FEASIBLE  |
| (Circular pattern)      | 200mm (8") MIN. Ø ANGULAR COBBLE STONESCAPES ON-SITE BLAST ROCK TO BE USED WHEREVER FEASIBLE   |
| (Irregular shapes)      | LANDSCAPE BOULDERS ON-SITE STONE TO BE USED WHEREVER FEASIBLE  |
| (Rectangles)            | BENCH<br>QTY: 4 @ 8 SEAT, 3 IN PAVILION<br>MANUFACTURER: WASHINGTON SITE FURNISHINGS<br>STYLE: BESTEST PARK BENCH - ALL METAL<br>MODUL: BENCH<br>COLOUR: BLACK   |
| (Circles)               | BOLLARD LIGHTING<br>QTY: 30<br>MANUFACTURER: KING LUMINARIES INC AFFIXED EQUAL<br>STYLE: SILHOUETTE<br>MODUL: BOLLARD<br>COLOUR: ECLIPSE   |
| (Pluses)                | FINAL STREET AND BOLLARD LIGHT MARKS, MODELS, LOCATIONS, QUANTITIES AND PHOTOMETRIC ANALYSIS SHALL BE BY PROJECT ELECTRICAL ENGINEER<br>EXISTING TREES TO REMAIN, REFER TO TREE REMOVAL - PERMIT APPLICATION |

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2017-DEC-07

380 Cottle Place  
Mödev  
Nanaimo, BC

| LANDSCAPE ARCHITECTURE |                  |
|------------------------|------------------|
| SITE PLAN              |                  |
| Date:                  | December 7, 2017 |
| Drawn:                 | NG               |
| Checked:               | NG               |
| Scale:                 | 1:200 metric     |
| Project Number:        | 17-0016          |
| Drawing Number:        | L1 of 7          |

| REVISION SCHEDULE |                                    |
|-------------------|------------------------------------|
| #                 | NOTES                              |
| 0                 | 25/MAY/2017 Pre-application Review |
| 1                 | 26/SEP/2017 DP Submission          |
| 2                 | 07/DEC/2017 DP Re-submission       |
|                   |                                    |
|                   |                                    |
|                   |                                    |



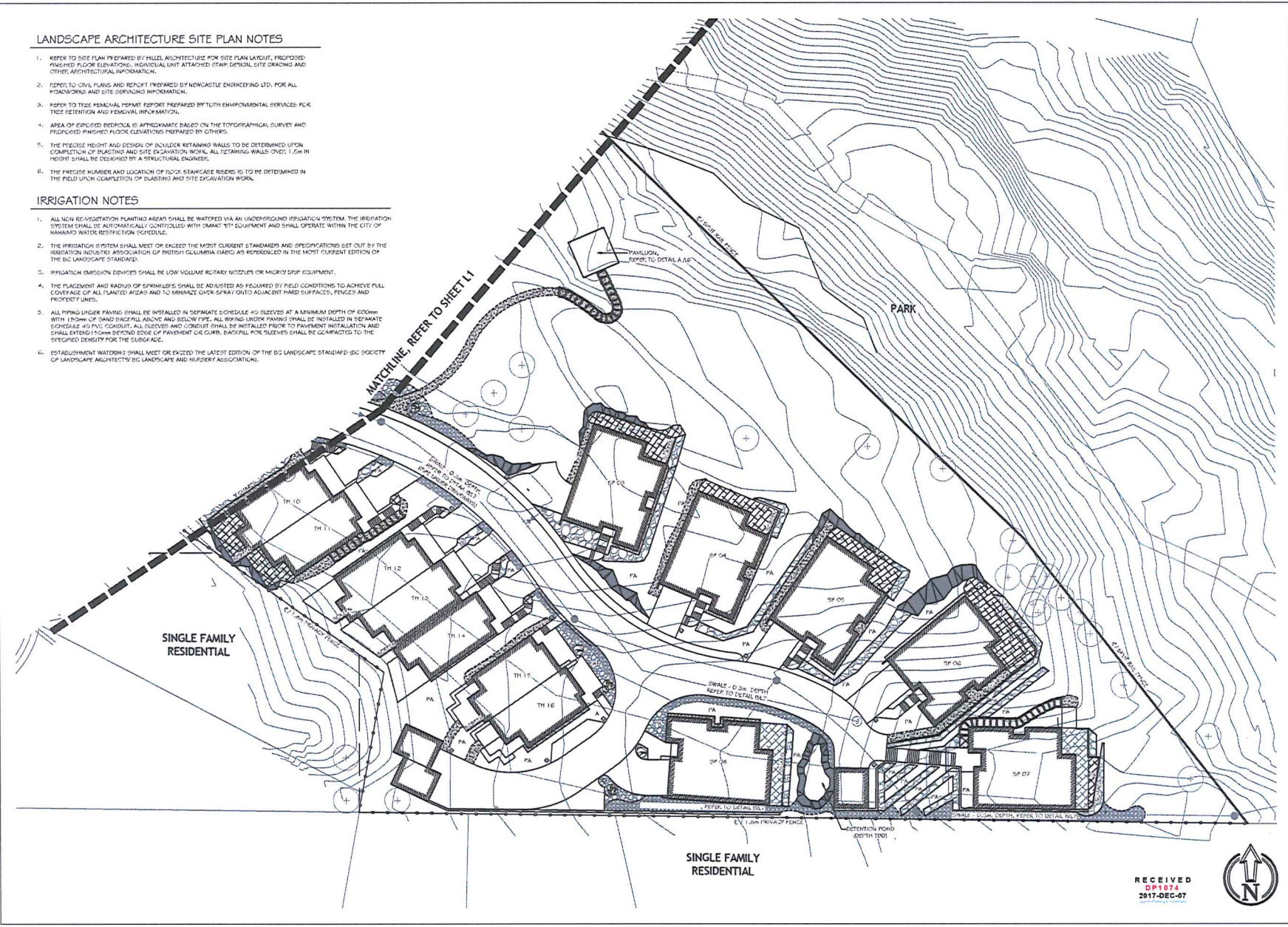
THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION FROM SHEET 17 OF 170 UNLESS STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT.

380 Cottle Place  
Mōdev  
Nanaimo, BC

|                        |                  |
|------------------------|------------------|
| LANDSCAPE ARCHITECTURE |                  |
| SITE PLAN              |                  |
| Date:                  | December 7, 2017 |
| Drawn:                 | GA               |
| Checked:               | NG               |
| Scale:                 | 1:250 metric     |
| Project Number:        | 17-016           |
| DRAWING NUMBER:        | L2 of 7          |

| # | DATE        | NOTES                  |
|---|-------------|------------------------|
| 0 | 25 AUG 2017 | Pre-application Review |
| 1 | 26 SEP 2017 | IP Submission          |
| 2 | 07 DEC 2017 | IP Re-submission       |

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SEP 14  
2017-DEC-07



LANDSCAPE ARCHITECTURE SITE PLAN NOTES

1. REFER TO SITE PLAN PREPARED BY HILL ARCHITECTURE FOR SITE PLAN LAYOUT, PROPOSED FINISHED FLOOR ELEVATIONS, INDIVIDUAL UNIT ATTACHED STAIR DESIGN, SITE DRAINAGE AND OTHER ARCHITECTURAL INFORMATION.
2. REFER TO CIVIL PLANS AND REPORT PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ALL FOUNDATIONS AND SITE SERVICING INFORMATION.
3. REFER TO TREE REMOVAL PERMIT REPORT PREPARED BY TCM ENVIRONMENTAL SERVICES FOR TREE RETENTION AND REMOVAL INFORMATION.
4. AREA OF EXPOSED BEDROCK IS APPROXIMATE BASED ON THE TOPOGRAPHICAL SURVEY AND PROPOSED FINISHED FLOOR ELEVATIONS PREPARED BY OTHERS.
5. THE PRECISE HEIGHT AND DESIGN OF BOULDER RETAINING WALLS TO BE DETERMINED UPON COMPLETION OF EXISTING AND SITE EXCAVATION WORK. ALL RETAINING WALLS OVER 1.0m IN HEIGHT SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.
6. THE PRECISE NUMBER AND LOCATION OF ROCK STAIRCASE RISERS IS TO BE DETERMINED IN THE FIELD UPON COMPLETION OF EXISTING AND SITE EXCAVATION WORK.

IRRIGATION NOTES

1. ALL NEW REVEGETATION PLANTING AREAS SHALL BE WATERED VIA AN UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION SYSTEM SHALL BE AUTOMATICALLY CONTROLLED WITH SMART IRT EQUIPMENT AND SHALL OPERATE WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.
2. THE IRRIGATION SYSTEM SHALL MEET OR EXCEED THE MOST CURRENT STANDARDS AND SPECIFICATIONS SET OUT BY THE IRRIGATION INDUSTRY ASSOCIATION OF BRITISH COLUMBIA (IBIC) AS REFERENCED IN THE MOST CURRENT EDITION OF THE IBC LANDSCAPE STANDARD.
3. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIIP EQUIPMENT.
4. THE PLACEMENT AND RADII OF SPRINKLERS SHALL BE ADJUSTED AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
5. ALL PAVING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SCHEDULES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BASEFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL ELEVATIONS AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SURFACE.
6. ESTABLISHMENT WATERING SHALL MEET OR EXCEED THE LATEST EDITION OF THE IBC LANDSCAPE STANDARD (IBC SOCIETY OF LANDSCAPE ARCHITECTS/ IBC LANDSCAPE AND NURSERY ASSOCIATION).



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT. THE CLIENT IS TO BE ADVISED AND APPROVED BY THE PROJECT ARCHITECT AND ENGINEER. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

**380 Cottle Place**  
**Mōdev**  
 Nanaimo, BC

| PLANTING PLAN   |                  |
|-----------------|------------------|
| Date:           | December 7, 2017 |
| Drawn:          | CM               |
| Checked:        | NS               |
| Scale:          | 1:250 metric     |
| Project Number: | 17-0176          |
| DRAWING NUMBER: | L3 of 7          |

| REVISION SCHEDULE |              |                        |
|-------------------|--------------|------------------------|
| #                 | DATE         | NOTES                  |
| 0                 | 21 AUG 2017  | Pre-application Review |
| 1                 | 26 SEPT 2017 | BP Submission          |
| 2                 | 07 DEC 2017  | BP For Submission      |
|                   |              |                        |
|                   |              |                        |

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Typical Single Family Landscape

1:100 metric

Plan



Typical Duplex/Triplex Landscape

1:100 metric

Plan

PLANTING NOTES

1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE BRITISH COLUMBIA NURSERY TRADED ASSOCIATION (BCNTA) / BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS' (BCSLA) LANDSCAPE STANDARDS.
2. ALL TREES SHALL BE PLANTED WITH 300mm OF TOPSOIL OR AMENDED ORGANIC SOILS AROUND AND BELOW FOOTBALL.
3. SOIL DEPTHS: SHRUBS - 300mm  
SMALL - 100mm  
TREES - 300mm AROUND AND BELOW FOOTBALL.
4. MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE BCNTA/BCSLA BC LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM COVER ALL TREE AND SHRUB PLANTING AREAS.
5. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH BCNTA/BCSLA STANDARDS FOR NURSERY STOCK.
6. ALL PLANTING AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION CONTROL DEVICES SHALL BE LOW VOLUME FLOW RATE WITH SLOW DRIP EQUIPMENT.
7. PLANT QUANTITIES ARE FOR INFORMATION ONLY, IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
8. ALL PLANT MATERIAL SHALL MATCH SPECIES AS INDICATED ON THE PLANTING LEGEND.
9. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS, NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
10. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE PITS. EXCAVATED PLANT PITS SHALL HAVE FOOTING DRAINAGE, PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
11. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.
12. ALL CALIPPER STOCK TREES SHALL BE 4 IN WIRE BASKETS.



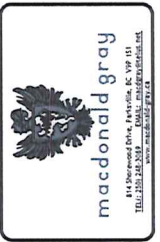
THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNTIL IT HAS BEEN SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION SHOWN ON THIS DRAWING UNLESS IT IS SPECIFICALLY IDENTIFIED AS SUCH BY THE ARCHITECT.

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Nanaimo, BC

| TYPICAL UNIT LANDSCAPE |                  |
|------------------------|------------------|
| Date:                  | December 7, 2017 |
| Drawn:                 | CA               |
| Checked:               | NG               |
| Scale:                 | 1:100 metric     |
| Project Number:        | 17-0176          |
| DRAWING NUMBER:        | L5 of 7          |

| REVISION SCHEDULE | DATE        | NOTES                  |
|-------------------|-------------|------------------------|
| 0                 | 25/AUG/2017 | Pre-application Review |
| 1                 | 26/SEP/2017 | DP Submission          |
| 2                 | 07/OCT/2017 | DP Re-submission       |
|                   |             |                        |
|                   |             |                        |
|                   |             |                        |
|                   |             |                        |

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**380 Cottle Place**  
**Mödev**  
**Nanaimo, BC**

**PLANTING LEGEND & DETAILS**

|                 |                  |
|-----------------|------------------|
| Date:           | December 7, 2017 |
| Drawn:          | GA               |
| Checked:        | NG               |
| Scale:          | AS NOTED         |
| Project Number: | 17-0116          |
| Drawing Number: | L6 of 7          |

| REVISED SCHEDULE | NOTES                              |
|------------------|------------------------------------|
| 1                | 25 AUG 2017 Pre-application Review |
| 2                | 26 SEP 2017 LP Submission          |
| 3                | 07 DEC 2017 LP Re-submission       |

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 DP 1074  
 2017-DEC-07

**PLANT LEGEND**

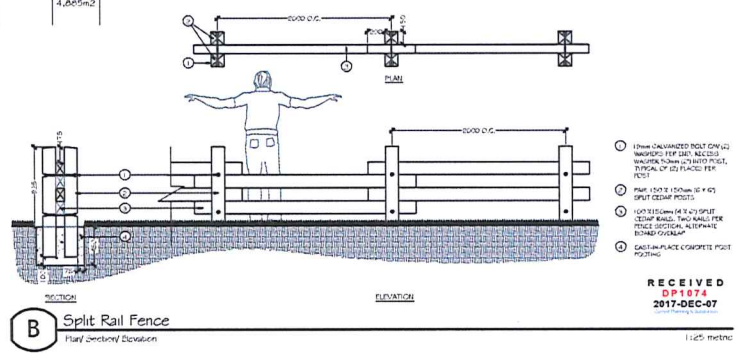
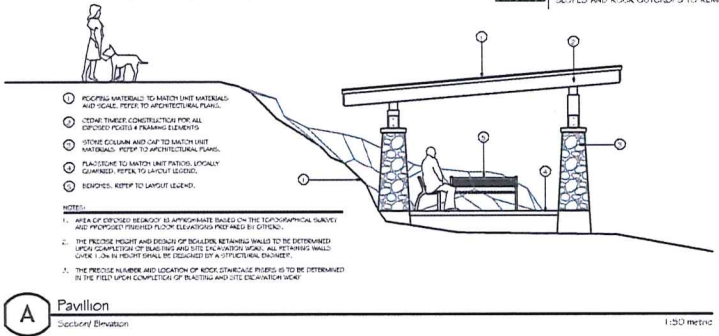
| SYMBOL       | BOTANICAL / COMMON NAME  | SIZE        | SPACING  | QUANTITY | NOTES                        |
|--------------|--|-------------|----------|----------|------------------------------|
| <b>TREES</b> |  |             |          |          |                              |
| 1.5m BUFFER  |  |             |          |          |                              |
|              | ACER CIRCINATUM<br>VINE MAPLE  | #5 POT      | SEE PLAN | 28       | NATIVE SPECIES               |
|              | CERCIS CANADENSIS 'FOREST FANBY'<br>FOREST PANSY EASTERN REDBUD      | 5cm CAL.    | SEE PLAN | 6        | NATIVE CULTIVAR, STREET TREE |
|              | CHAMACYPARIS NOOTKATENSIS 'JUBILEE'<br>JUBILEE WEeping ALASKAN CEDAR | 2.0m HEIGHT | SEE PLAN | 5        | NATIVE CULTIVAR              |
|              | CORNUS KOUSA 'SATOMI'<br>RED FLOWERING KOUSEA DOGWOOD                | 5cm CAL.    | SEE PLAN | 8        | SPECIMEN TREE                |
|              | MALUS FUSCA<br>FADING CHAIR APPLE                                    | #5 POT      | SEE PLAN | 3        | NATIVE SPECIES               |
|              | PICEA ABIES 'CUPRESSINA'<br>COLUMBIAN NORWAY SPRUCE                  | 2.0m HEIGHT | SEE PLAN | 6        | DROUGHT TOLERANT             |
|              | PYRUS CALLERYANA 'SHANTICLEER'<br>RED/FIRE FLOWERING PEAR            | 5cm CAL.    | SEE PLAN | 8        | STREET TREE                  |

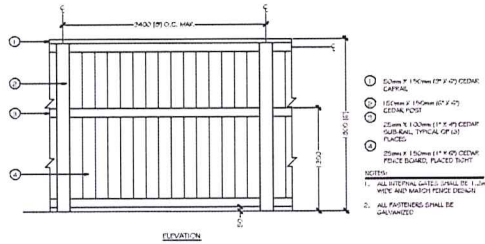
| SYMBOL        | BOTANICAL / COMMON NAME              | SIZE   | SPACING   | QUANTITY | NOTES          |
|---------------|--------------------------------------|--------|-----------|----------|----------------|
| <b>SHRUBS</b> |                                      |        |           |          |                |
|               | AMELANCHIER ALNIFOLIA<br>SARGENTON   | #5 POT | 2.0m O.C. | 25       | NATIVE SPECIES |
|               | GAULTHERIA SHALLON<br>SALAL          | #1 POT | 1.0m O.C. | 228      | NATIVE SPECIES |
|               | HOLODISCUS DISCOLOR<br>OCEANSPRAY    | #2 POT | 1.5m O.C. | 6        | NATIVE SPECIES |
|               | MAHONIA AQUIFOLIUM<br>OREGON GRAPE   | #2 POT | 1.0m O.C. | 124      | NATIVE SPECIES |
|               | POLYTAICHUM MINUTUM<br>SWAMP PINE    | #1 POT | 1.0m O.C. | 197      | NATIVE SPECIES |
|               | ROSA GYMNOCARPA<br>DWARF ROSE        | #2 POT | 1.0m O.C. | 120      | NATIVE SPECIES |
|               | SALIX SCOULERIANA<br>SCOULERS WILLOW | #1 POT | 2.0m O.C. | 10       | NATIVE SPECIES |
|               | SAMBUCUS RACEMOSA<br>RED SLOEBERRY   | #5 POT | 1.5m O.C. | 43       | NATIVE SPECIES |
|               | SPIRAEA DOUGLASSII<br>HARDHACK       | #1 POT | 1.0m O.C. | 24       | NATIVE SPECIES |

| SYMBOL                               | BOTANICAL / COMMON NAME                                   | SIZE   | SPACING    | QUANTITY | NOTES   |
|--------------------------------------|---|--------|------------|----------|---|
| <b>PERENNIALS &amp; GROUNDCOVERS</b> |   |        |            |          |   |
|                                      | ACHILLEA MILLEFOLIUM<br>YARROW                            | #1 POT | 0.6m O.C.  | 26       | NATIVE CULTIVAR: 30% YELLOW, 30% RED AND 30% ORANGE |
|                                      | ANEMONE THYMIFOLIA<br>KINNIKINNICK                        | #1 POT | 1.0m O.C.  | 290      | NATIVE SPECIES, PLANT OVER TOP OF WALLS TO CASCADE  |
|                                      | CAREX OBOVATA<br>SLOUGH / SAWBEAR SEDGE                   | #1 POT | 0.5m O.C.  | 45       | NATIVE SPECIES                                      |
|                                      | DIGITALIS PURPUREA<br>COMMON FOREGLOVE                    | #1 POT | 1.0m O.C.  | 27       | NATIVE SPECIES                                      |
|                                      | JUNCO EFFUSUS<br>COMMON RUSH                              | #1 POT | 0.5m O.C.  | 42       | NATIVE SPECIES                                      |
|                                      | PENNISETUM ALGIFURCOIDES 'HAMELIN'<br>DWARF FOXTAIL GRASS | #1 POT | 0.6 m O.C. | 125      | DROUGHT TOLERANT                                    |
|                                      | SCIRPUS MICROCARPUS<br>SMALL FLOWERED BULRUSH             | #1 POT | 0.5m O.C.  | 60       | NATIVE SPECIES                                      |
|                                      | LAWN  | SGG    |            | 119      | 94-m  |

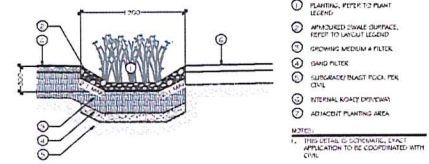
| SYMBOL   | BOTANICAL / COMMON NAME                            | SIZE     | SPACING | QUANTITY | NOTES  |
|--|--|----------|---------|----------|--|
| <b>NATIVE SPECIES PE-VEGETATION MIXED SLOPES, DISTURBED ROCK OUTCROPS &amp; ROCK WALLS</b> |  |          |         |          |  |
| <b>NORTH &amp; EAST FACING</b>   |  |          |         |          |  |
|  | DIGITALIS PURPUREA<br>COMMON FOREGLOVE             | 2cm POT  | TBD     | 25       | WHERE THE SUBGRADE DOES NOT ALLOW FOR SOIL VOLUMES AND SPACING INDICATED IN THE PLANT LEGEND AND PLANTING NOTES (E.G. DISTURBED ROCK OUTCROPS, ROCK WALLS AND CUT SLOPES):<br>1. PLANTS SHALL BE INSTALLED IN CRACKS, HOLES AND GAPS FILLED WITH IMPORTED GROWING MEDIUM WHERE FEASIBLE.<br>2. IRRIGATION WILL NOT BE REQUIRED IN THESE AREAS.<br>3. QUANTITIES ARE BASED ON 25% SUITABLE PLANTING AREAS AT 1.0m SPACING |
|  | GAULTHERIA SHALLON<br>SALAL                        | 2cm POT  | TBD     | 25       |  |
|  | LONICERA CILIOSA<br>WESTERN HUMMPET<br>HONEYBUCKLE | #1 POT   | TBD     | 25       |  |
|  | MAHONIA NERVOSA<br>LONGLEAF GREGON GRAPE           | #1 POT   | TBD     | 25       |  |
|  | MIMULUS GUTTATUS<br>YELLOW MONKEY-FLOWER           | #1 POT   | TBD     | 25       |  |
|  | POLYTAICHUM MINUTUM<br>SWAMP PINE                  | #1 POT   | TBD     | 25       |  |
| <b>SOUTH &amp; WEST FACING</b>   |  |          |         |          |  |
|  | ACHILLEA MILLEFOLIUM<br>YARROW                     | 2cm POT  | TBD     | 15       |  |
|  | BRODIAEA HYACINTHINA<br>FICIAL'S SNOW              | 10cm POT | TBD     | 15       |  |
|  | HOLODISCUS DISCOLOR<br>OCEANSPRAY                  | #1 POT   | TBD     | 15       |  |
|  | LONICERA HISPIDULA<br>HARTY HONEYBUCKLE            | #1 POT   | TBD     | 15       |  |
|  | MAHONIA AQUIFOLIUM<br>OREGON GRAPE                 | #1 POT   | TBD     | 15       |  |
|  | MONTIA FRANTZII<br>SMALL-LEAVED MONTIA             | 2cm POT  | TBD     | 15       |  |
|  | ROSA GYMNOCARPA<br>BALDWIN ROSE                    | #1 POT   | TBD     | 15       |  |
|  | SEDUM SPATHULIFOLIUM<br>BROAD-LEAVED STONECROP     | 2cm POT  | TBD     | 15       |  |
| <b>LOWER (SOUTHERN) FACING</b>   |  |          |         |          |  |
|  | CAREX OBOVATA<br>SLOUGH / SAWBEAR SEDGE            | #1 POT   | TBD     | 1        |  |
|  | JUNCO EFFUSUS<br>COMMON RUSH                       | #1 POT   | TBD     | 1        |  |
|  | MIMULUS GUTTATUS<br>YELLOW MONKEY-FLOWER           | #1 POT   | TBD     | 1        |  |
|  | SALIX SCOULERIANA<br>SCOULERS WILLOW               | #1 POT   | TBD     | 1        |  |
|  | SCIRPUS MICROCARPUS<br>SMALL FLOWERED BULRUSH      | #1 POT   | TBD     | 1        |  |
|  | SPIRAEA DOUGLASSII<br>HARDHACK                     | #1 POT   | TBD     | 1        |  |

| SYMBOL | SWALE PLANTING  | SIZE   | SPACING   | QUANTITY            | NOTES                   |
|--------|---|--------|-----------|---------------------|-------------------------|
|        | CAREX OBOVATA<br>SLOUGH / SAWBEAR SEDGE                               | #1 POT | 0.5m O.C. | 95                  | CENTRELINE OF SWALE     |
|        | JUNCO EFFUSUS<br>COMMON RUSH  | #1 POT | 0.5m O.C. | 180                 | SIDE SLOPES OF SWALE    |
|        | SCIRPUS MICROCARPUS<br>SMALL FLOWERED BULRUSH                         | #1 POT | 0.5m O.C. | 130                 | BOTTOM CORNERS OF SWALE |
|        | EXISTING TREE RETENTION, PLANTING, SLOPES AND ROCK OUTCROPS TO REMAIN |        |           | 4,885m <sup>2</sup> |                         |





**A** 1.8m Privacy Fence  
Section/Elevation 1:25 metric



**B** Armoured Swale  
Section 1:25 metric



Flagstone Patios Photo



Flagstone Patios Photo



Boulder Retaining Wall Photo



Rock Staircase Photo



Home in Rock Outcrop Photo



Home on Rock Outcrop Photo



Exposed Rock Outcrop Photo



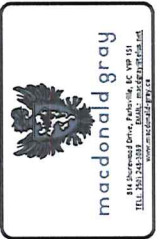
Re-vegetated Rock Outcrop Photo



Armoured Swale Photo



Armoured Swale Photo



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380 Cottle Place  
Moseley  
Nanaimo, BC

| DETAILS & MATERIALS |                  |
|---------------------|------------------|
| Date:               | December 7, 2017 |
| Drawn:              | CM               |
| Checked:            | MG               |
| Scale:              | 1:250 metric     |
| Project Number:     | 17-0076          |
| DRAWING NUMBER:     | L7 of 7          |

| REVISION SCHEDULE |              |                        |
|-------------------|--------------|------------------------|
| #                 | DATE         | NOTES                  |
| 0                 | 29 AUG 2017  | Pre-application Review |
| 1                 | 29 SEPT 2017 | Per Submission         |
| 2                 | 07 DEC 2017  | Per Per-Submission     |
|                   |              |                        |
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